



**Clinton County Planning Commission**  
**July 16, 2024 - 7:00 PM**

**Piper Building, First Floor Meeting Room**  
**2 Piper Way, Lock Haven, PA 17745**

**Meeting called by:** Steve Gibson, Director/Engineer  
**Meeting Type:** Regular monthly meeting

**AGENDA**

**CALL TO ORDER**

**APPROVAL OF MINUTES - Exhibit 1**

- June 18, 2024

**OTHER BUSINESS**

- Reorganize planning commission officers.

**STAFF REPORTS – Exhibit 2**

**PUBLIC COMMENTS**

**OLD BUSINESS – Exhibit 3**

- Renovo Borough 2017 Zoning Ordinance Update
  - Revisit comments provided in 2017 (attached), provide additional comments (solar/atvs, etc.)

**NEW BUSINESS – Exhibit 4**

- Land Development Plans
  - Land Development – Taco Bell Restaurant, Borough of Flemington

**CORRESPONDENCE – Exhibit 5**

- See attached list.

**ADJOURNMENT**

# **EXHIBIT 1**

## **MEETING MINUTES**

**CLINTON COUNTY PLANNING COMMISSION**  
**Meeting Minutes June 18, 2024**

**PRESENT:** John Dotterer, Larry Sheats, Roger Hoy, Terry Murty, Melvin Coakley, Dave Calhoun, Reza Lotfi

**ABSENT:** Richard Bowman, Ryan Graw

**COUNTY STAFF:** Matthew Croak, Elizabeth Whitty, Steve Gibson

**GUESTS:** Terry Condo, Coleman Gregory (Larson Design Group)

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**CALL TO ORDER:** Terry Murty called the meeting to order at 7:00 PM.

**APPROVAL OF MINUTES:** Dave Calhoun moved and Melvin Coakley seconded a motion to approve the minutes of the May 2024 meeting, as submitted. All were in favor and the motion carried.

**PUBLIC COMMENTS:** No public comments were received.

**STAFF REPORTS:**

- Stephen Gibson presented the Planning Director/Engineer report to include updates from the Broadband Map Challenge, Land Bank Summit attendance, several BEVT updates such as a RCAP grant application submission, the bid for Phase 5 was awarded to LTT Trucking, and coordination efforts with Castanea for bike lanes. Stephen also discussed the \$10,194,000 contract with Motorola for the 911 Tower Upgrade project.
- Matthew Croak presented the Community Planner/Zoning Officer report with zoning permit totals of 2-Colebrook, 7-Gallagher, 1-Grugran, 3-Logan, 1-Noyes, and 4-West Keating Townships. He extended a request for volunteers to join the Clinton County Recreation Committee.
- The Commission reviewed the Grants Administrator Report and Grants Coordinator Report.
- No public comments were received.

**OLD BUSINESS:**

- Comprehensive Plan/Greenways and Open Space Plan updates: A MAP Grant was awarded for \$70,000, nearly half the estimated cost for these Plan updates. The County applied for an additional \$70,000 from DCNR. The award should be announced Fall of 2024 and the update process is scheduled to begin at the beginning of 2025.

**NEW BUSINESS:**

- A presentation from Coleman Gregory, P.E. of Larson Design Group was heard regarding the Leidy compressor station's new 6000 square foot building project. One (1) building is planned to be demolished and two (2) new additions will be added to include a larger, safer truck-accessible parking area meeting new Berkshire Hathaway regulations.

- An infiltration basin with easier access inlet box will be added with wetland grasses planted in the floor.
- The Owner believes that NPDES Permitting does not apply to this project, but rather an ESCGP (natural gas) permit would be applicable. Because the project is under ESCGP, DEP does not require Erosion and Sedimentation Control permitting for this project because it is under 5 acres of disturbance. Mr. Gregory indicated that the project is being designed to meet all the regulatory standards of the NPDES permits. LDG agreed to obtain any permits requested by the County. A sewage facilities permit is pending from DEP at this time.
- Several details of the post construction stormwater management drawings were reviewed with the group. Mr. Gregory was able to address the comments during the presentation. Steve Gibson indicated that the County Engineer would perform a full technical review of the plan and provide comments.
- Roger Hoy moved and Larry Sheats seconded a motion to recommend Conditional Approval of the project, with final approval being that all Technical Comments by the County Engineer are addressed. All were in favor and the motion carried.
  
- Avery Dennison submitted a land development plan depicting a temporary staging area during construction of the UV Building, that will be converted into a permanent gravel lot upon completion of construction. Dave Calhoun moved and Melvin Coakley seconded a motion to recommend approval of the plan to Bald Eagle Township. All were in favor and the motion carried.

#### **CORRESPONDENCE:**

The Planning Commission reviewed correspondence which included the following:

- NPDES Permit from Gannet Fleming for PennDOT Rest Area Site 33 WWTP
- Susquehanna River Basin Commission Notification from Jersey Shore Area Joint Water Authority for well water withdrawal increase in Pine Creek.
- 105 Permit from Arcadis for Columbia Gas in Chapman Township
- Act 14 Notification from Mastec for Gas Main in Avis Borough
- Act 14 Notifications from Gwin Dobson Foreman for multiple water wells, and pipelines in Wayne Township for drinking water
- Act 14 Notification from TRC for Norfolk Southern Lock Haven Yard – Industrial Stormwater Permit
- Water Withdrawal Permit from EQT for water withdrawal in Beech Creek Township
- Stormwater and Floodplain Consistency letter from EADS Group for bridge in Lamar Twp
- Act 14 Notification for 105 Permit from Cedar Run Environmental for HDD under Fishing Creek, Lamar Township

**GOOD OF THE ORDER:** A presentation was made to honor David Calhoun for nearly 30 years of service to the Clinton County Planning Commission. It was with deep regret the County accepted Mr. Calhoun’s resignation.

**ADJOURNMENT:** Roger Hoy made and Larry Sheats seconded, a motion to adjourn at 7:45 PM. All were in favor and the motion carried.

**Clinton County  
Planning Commission Meeting**

Date: June 16th, 2024

Please sign next to your name.

Terry Murty, Chairman



Dave Calhoun, Vice Chairman



Roger Hoy



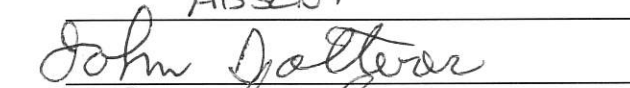
Larry Sheats



Ryan Graw

ABSENT

John Dotterer



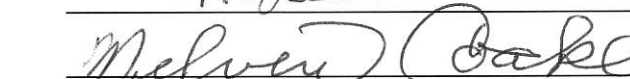
Reza Lotfi



Richard Bowman

ABSENT


Melvin Coakley



**Guests**

*(please print your name)*

*(representing)*



Coleman Gregory Larson Design Group

Steve Gibson

Beth Whitty

Matt Croak

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# **EXHIBIT 2**

## **STAFF REPORTS**

## STAFF REPORTS

July 2024

Steve Gibson, Planning Director/Engineer

- Attended a meeting with the Redevelopment Authorities of Clinton County and gave a tour to the Consultant assisting with land banking. Visited Renovo, South Renovo, Mill Hall, Lock Haven and Flemington.
- Working with DCNR on reallocating grant funding for ATV Pilot Program loading areas and camping areas in Renovo.
- Worked on county capital projects, such as the trails, HVAC for Piper and the Court House, and 911 Project.
- Assisting Chestnut Grove with the Robbie Gould Youth Sports Park.
- General planning and engineering consultation with the County and Municipalities.

### BEVT 3 – Design Phase

- Working on land acquisition issues with the Commissioners.
- Working with the original engineering firm on restarting the project.
- Submitted a RACP Grant for construction of the entire alignment.

### BEVT 5 – Design

- The project bids were opened. LTT Trucking LLC of North Bend was the low bidder. Their bid was well under the estimated cost.

### BEVT 6 – Funding Acquisition

- Recently informed that the grant is still under review by the FHWA.

### 911 Tower Project

- The commissioners have executed a contract with Motorola for approximately \$10,194,000.00.
- Completing tower lease agreements.
- Executing a change order for trunking the comms system.

### Land Development Projects

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Since the March PC Meeting, the following projects are in different phases of consultation for Land Development.

- Mountain Top – will be doing a site visit to assess site work.
- Take 5 – may have to relocate a water main on the property. **Nothing new.**
- Wawa – no status update. Recently received a request to support a grant application making several updates.
- Rutters – Nothing new to report.

- Mt McKinley – revised plans have been submitted. They are under review. Need to see the NPDES Permit and sewage capacity letters prior to signing the plans.
- Leidy Compressor – Provided comments to LDG.
- **New.** Taco Bell – Borough of Flemington. Plans have been reviewed.



## Zoning Officer/Community Planner's Report

7/9/2024

### Zoning Officer's Report

#### Zoning Permit Totals for 2024

- Colebrook - 3
- East Keating - 0
- Gallagher - 7
- Grugan - 1
- Logan - 3
- Noyes - 1
- West Keating – 4\* (one was permit renewal)
  - Only one permit was issued to Colebrook Township in the month of June and it was for a full time residence.
  - The Winner Solar Property – No changes here yet, they are working on the land development planning.
  - I have been working recently with the zoning officer from Chapman Township by helping him navigate through their zoning processes. This is in regards to the Green Acres “Glamping” Campground on the Maguire Property.
    - Bobby has submitted his zoning application finally, the township supervisors are speaking with their solicitor to see what the next steps would be in regards to a zoning hearing.
    - I advised Mr. Kelly (Zoning Officer) to coordinate with Jeff Kreger/DEP and told him once zoning is resolved that they would need to work with our office next on land development planning.

### Community Planner

- DCNR is looking at the last week of July to do “Part Two” of the campsite feasibility study trip along the Susquehanna River.
  - Once again, the focus of these paddling trips is to create additional camping areas to draw increase tourism to the Susquehanna River in Clinton County.
  - The next section to be paddled will be from the East Keating Township boat launch to Renovo Borough. The final section will be from Renovo and end at the City of Lock Haven.
- An MOU needs to be reworded, and will now only include Clinton County and the Clinton County Historical Society.
  - This will be for the new internet and camera system that will be installed at the Castanea Trailhead of the Bald Eagle Valley Trail.

## July 16, 2024 Staff Report GPC -Beth Whitty

- ERAP2 Emergency Rental Assistance Program  
*G:\19\_GRANTS ERAP PROGRAM*
  - Reallocation of \$100,488.60 will be deposited sometime in July, will give to Clinton County Housing Coalition
  
- Environmental Reviews:
  - Lock Haven Police Department review in progress
  - Hope Mitchell House new advertisement completed, waiting for any public comments  
*G:\08\_ENGINEERING\2023 1121 CC Housing Hope Mitchell House\PERMITS\Environmental Review*
  
- USDA DES US Dept of Agriculture Rural Development Community Facilities Loan/Grant for a new Emergency Response Vehicle for the Dept of Emergency Services team  
*G:\25\_GRANTS USDA\2023 1031 USDA Community Facilities - DES*
  - Waiting for Harrisburg for approval, Ron Moore forwarded addtn'l info 6/20
  
- HOME-ARP NCS- HOME American Rescue Plan – Non-Congregate Shelter  
*G:\32\_GRANTS ARPA- American Rescue Plan Act\2024 HOME ARP NONCONGREGATE SHELTER*
  - Public Hearing done
  - Shared information with CCHC in case they would like to apply
  - Roads to Peace reviewing, they might need it for some repair work, will let us know so we could apply on their behalf
  - Deadline July 23, 2024
  
- HAP/HSG Homeless Assistance Program  
*G:\37\_GRANTS HAP Homeless Assistance*
  - Annual report request received from Keith Wagner @ Joinder, submitted
  - HSG Report request from Dept Human Svcs. submitted
  
- HOME Investment Partnerships- will do home improvements for homeowner-occupied houses for low to moderate income people  
*G:\26\_GRANTS-HOME Investment Partnerships\2024 HOME Investment Partnerships*
  - Application was submitted 6/28 for \$750,000, no match required
  
- Cottage Lane water project: Match Waiver Request submitted, being reviewed, still no decision  
*G:\15\_UTILITIES\Water\2022 1110 Suburban Cottage Lane Water\CORRESPONDENCE EMAIL MEETINGS\EMAIL*
  
- Appropriations \$587K for local fire departments radio replacements, no updates  
*G:\30\_GRANTS APPROPRIATIONS\2025 Appropriations\APPLICATION Handheld Radios Fetterman\CORRESPONDENCE EMAIL MEETINGS\EMAIL*

**EXHIBIT 3**

**OLD BUSINESS**

New Part 9 added - not in this agenda

Staff Analysis  
Renovo Borough, New Zoning Ordinance Review

General Comments:

- The ordinance seems fairly robust and improves upon the existing ordinance, and should serve the Borough well.
- ✓ • Guidance included in Part 9, Motor Vehicles and Traffic and Part 10, Solid Waste should be included in a non-zoning chapter of the borough's code of ordinances. If these chapters are moved, all references to them should have their paragraph numbers changed to reflect the new position. Also, the remaining chapters will have to be renumbered and all existing references to those Chapters and the Table of Contents should be renumbered.
- ✓ • We recommend the Flood Plain Overlay be presented as a separate map (See comments on 302 and 315 below).
- ✓ • Some of the specific comments have to do with making language clear and precise, so it cannot be left open to reader interpretation or legal challenge. For example, "If located in or affected by the following zoning overlay district..." could be improved to read "if located within the Flood Plain Overlay limits defined on the Official Flood Plain Overlay Map ..."
- ✓ • Some regulatory language has been incorporated in the definitions section. We suggest moving regulatory language to the body of the ordinance. A reference to the governing paragraph can be added in the definitions.
- The definition of "Renovo Borough Planning Commission" must make clear that the Clinton County Planning Commission is the body which is acting on Renovo's behalf for SALDO approval. This affects various sections of the ordinance. We recommend doing a document search for all references to the Renovo Borough Planning Commission to ensure they are accurate. For example, see p. 12-12 and 12-15.
- Names of other ordinances and documents referenced by this ordinance should be stated the same way each time. Sometimes "Renovo Building Code" is used, and other times "Building Code" is used. There is no Renovo Building Code, so we assume "Building Code" intends to reference the Pennsylvania Uniform Construction Code. (This document is actually not mentioned anywhere in the ordinance. See comments for p. 2-9 below.) Shorthand terms such as "Building Code" and "PA MPC" should first be defined in the definitions section with their full titles spelled out, and then in the regulation sections, the shorthand form should be used consistently.
  - Pennsylvania Uniform Construction Code = the Building Code
  - Clinton County Subdivision and Land Development Ordinance = the SALDO
  - Renovo Borough Comprehensive Plan = the Comprehensive Plan
  - Pennsylvania Municipalities Planning Code = the PA MPC
- Re Nonconformities: In all areas that have been rezoned on the Official Zoning Map, at the time of ordinance adoption, the Borough should create a list of known nonconforming properties and keep it on file. (See Section 613 of the MPC.) This does not have to be adopted but it should be signed and dated by the Council President.

p. 11-16  
Not done  
generally  
much  
added  
corrected

**Specific Comments:**

✓ p. 1-1, Item 11 says this Ordinance “amends” the 1991 Comprehensive Plan. Is this pertaining to the goals list that follows? Suggest phrasing “reflects and updates the goals of the 1991 Comprehensive Plan”

✓ p. 1-4 and following. The definitions under adult-related uses refer to “specified anatomical areas” and “specified sexual activities.” These areas and activities are *not* specified anywhere in the ordinance (it would be x-rated!). Could you express these terms as “specifically sexual anatomy” and “activities of a sexual nature.”?

X p. 2-5. Under definition of Borough Council, add “The elected governing body of ...”  
✓ Part of the definition of buffer yard is missing.

✓ p. 2-6 Under the definition of club room, last sentence: “Private clubs, club rooms and meeting halls shall not be used for adult-related facilities” is a regulation. Suggest the wording “This use excludes adult-related activities.”

✓ Definition of Abandoned Communications Antenna is a regulation. Suggest rewording the second sentence as: “If there are two or more users of an antenna, it will be defined as abandoned only when all users cease using it. An antenna is defined as in use at any time the owner is receiving, has the right to receive....etc.”

OK The definition of Wireless Communication Tower from the 2016 amendment has been absorbed into the definition for communications antenna.

✓ p. 2-7 Conditional Use definition refers to Part 5. Should this be Part 12? The definition is expressed as a regulation. Instead of “shall comply with” how about “are regulated in”?

✓ “Curb cut” accommodates motorized and non-motorized vehicles (bikes, wheelchairs). To avoid mentioning vehicles (and therefore having to name them all) it can be defined as “a solid ramp graded down from the <sup>top</sup> surface of a sidewalk to the surface of an adjoining street.”

✓ p. 2-9 The definitions for different types of dwellings each have an added last sentence, “Minimum floor area must comply with the most recent Building Code in effect at the time of erection.” This is a regulation. Since the body of the ordinance does not present regulations on dwellings, these definitions could be a good place to spell out that all dwellings must meet the PA UCC. (In other words, to encompass not only floor area, but all aspects of a dwelling.) In each case, the final sentence could read: “A (xx) dwelling is understood to be compliant in all respects to the most recent Pennsylvania Uniform Construction Code in effect at the time of erection.”

Did not use - p. 2-10 Garage, public – “Borough owned”?

Did not use ✓ p. 2-11 Household pets. The sentence about horses refers to Part 20, which doesn’t exist. Suggest combining this definition with the definition for Pet on p. 2-16 to clarify the intent (the two definitions contradict each other). Moved to animals

p. 2-11 In item 5, under General Industrial, add “and” before the item; typo of “recycled.”

*Did not address  
Worse*

p. 2-12 Industrial definition lacks some of the Heavy Industrial uses added in your last zoning amendment.

In definition for landscaping center/nursery, delete the word "the". What are non-agriculturally related trees? Is there a definition?

✓ p. 2-14 Mobile Home – If municipalities include a term defined in the MPC, they are mandated to have their definitions match those of the MPC exactly. Your definition does not match the latest MPC definition.

✓ Mobile Home Park – refers to Part 20 of this Chapter, which does not exist.

✓ Noise – refers to Section 6.320, which does not exist. Definition is expressed as a regulation for noise levels rather than a definition of the word "noise". Suggest using a standard definition of noise and include these rules in Part 4, as Section 410.

✓ No-impact home occupation – refers to the nonexistent Part 20.

*Did not address*

p. 2-17 Private Utility Services. Though these are defined, they are not permitted in any zoning district or mentioned anywhere except the definitions section. (The 2016 amendment had language permitting them in the R Districts.)

✓ p. 2-20 Variance - refers to Part 23, which does not exist. Should read essentially the same as the MPC definition.

✓ p. 2-21 Zoning District – remove the extra word "the"

✓ p. 3-0 Section 302. Suggest adding the phrase, "including the Flood Plain Overlay Map," after "the Zoning Map of Renovo Borough, as amended,"

p. 3-1

✓ In Para. 310, the power generation facility use is not included as an example of the intended use (but such facilities are permitted as a Special Exception use).

✓ p. 3-2 Para. 312 refers to the title of Part 4 as General Provisions. It is General Regulations.

✓ Para. 313. The meaning of the sentence is not clear. Suggest dividing it into two sentences: "All new permitted uses shall comply with the specifications of the table "Lot and Dimensional Requirements" and the general use regulations specified in Part 4. For certain specific uses, further requirements established in Part 5 shall be followed."

Para. 314. To clarify, suggest the following rewrite: The table "Permitted Uses By Zoning District" should be referred to by its title, not "the following uses" because "the following" is not specific in the legal sense.

✓ Para. 315 We recommend the flood plain overlay become a separate map. This reference could then read: "If located within the Flood Plain Overlay limits defined on the Flood Plain Overlay Map, developments or uses shall meet the requirements of the zoning district in which they are situated and the further requirements of Part 6 – Flood Damage Control Standards Overlay.

*Still reads rough*

p. 3-6 Power Generation Facilities have gone from being a Permitted use by right in the 2016 amendment, to a Special Exception use. Was this your intent?

p. 3-9 Notes to the table are (a) through (e) but in the table, there is no reference to (e). For convenience of the reader, it would be good if when the ordinance is printed, the table and its notes appear on facing pages.

The italicized note at the bottom of the page refers to "this zoning district" but does not specify which zoning district. It is not keyed to a place in the table in the same way as (a) through (d).

p. 4-1, 401A. The wording is confusing. Suggest placing most of the first sentence in para. B., as follows:

A. This Part sets forth the general standards and regulations that shall be applied to all uses in the Borough. These general use standards and regulations must be satisfied prior to approval of any application for a zoning permit, occupancy permit, temporary permit, special exception and/or conditional use. The applicant shall be required to demonstrate compliance with these standards and regulations and must furnish whatever evidence is necessary to demonstrate such compliance.

B. In addition to the general provisions of this Part for principal, accessory and/or temporary uses within a particular zoning district, the additional provisions for specific uses established in Parts 5, 6, and 7 shall also apply for those uses. In any case, the more restrictive of the general vs. specific provisions shall apply.

Para. 402B. Add the words "are met" after "other applicable ordinances"

Para. 402C Zoning ordinances must avoid the use of terms such as "appropriate" because they are non-specific, leave decisions up to the reader, and cannot be interpreted by a court. Perhaps use "... based upon review by the Borough Solicitor, confirming that a legal structure of ownership is in place and complies with applicable State law."

Para. 402D Add "Clinton County" to the title of the Subdivision and Land Development Ordinance.

Para. 403 B. A word is missing after "the".

Para. 403 D. The word "sufficed" is confusing. How about "satisfied"?

p. 4-3 Para. 404D1. In second sentence, add the word "in" before "all non-residential zoning districts". The last sentence refers to "1905 of this Chapter". Should it be 405?

Para 405A1. Refers to Part 17. Should it be Part 7?

Para 405 B. These requirements are very specific, and in some instances could be difficult to meet. They could be a little more flexible: "screening may be accomplished through the use of one or a combination of the following methods" (example taken from Central Clinton COG ordinances)

p. 4-4 Para 408. Refers to Part 20, which does not exist. Refers to permits for junkyards, but junkyards are not listed in the definitions section or anywhere in Part 3 as a permitted use.

P. 4-5 Paras. 409 and 410. 409A refers to the "subsection limiting dangerous and objectionable elements." Is that 502? It should be referred to by a paragraph number. 410 refers in three places to 410.2, but there is none. 410D. Refers to "other" forms of air pollution. Other than which?

Must be

No + addressed

Not done

Not done

still confusing

From a legal perspective, each form of nuisance should be fully described in the definitions section and then the regulations governing it should appear here (same as suggested above for noise).

*No* p. 5-1. 501. Suggest reversing the sentence order in 501A, to lead off with "This Part sets forth the specific..." Essentially the same comment as for para 401.A and B. *But not the same text*

✓ Section 502 is defined as general regulations that apply to certain specific uses. Later Sections (503-506) refer back to this section. By themselves, the requirements in 502 make no sense because the use being discussed is unknown to the reader. To be clearer, the title of 502 should read "Standard Regulations Applying to Specific Uses Referenced in Sections 503 through 506."

*Zoning officer to enforce* → 502A 1a and 1b seem to contradict each other. *B refers to weekends.*

✓ 502A 7 has ( ) in the first sentence.

✓ p. 5-3, Para. C6c: Refers to Part 19, which is not in this ordinance.

✓ Para. C11: Should this refer to the Clinton County Subdivision and Land Development Ordinance instead of the Comprehensive Plan?

✓ Para D1: Wording is confusing.

✓ P. 5-4 Para D3: Add the word "from" before "any adjoining property"

✓ p. 5-6 Item 15: Change "is constructed" to "will be constructed"?

✓ p. 5-8 Item E5: The book referenced was printed in 1998 and not since – may not be readily available.

✓ Item F: These requirements would be enforced by police, rather than a Zoning Officer.

✓ p. 5-9, Item I 2: Screening requirements are in Section 405, not Part 8.

*No* ✓ Item K: It could be mentioned that a Conservation District permit must be obtained before commencement of the operation.

✓ p. 5-10 Item M 2: Refers to R-1 and R-L districts, which have been renamed.

✓ p. 5-11, top of page: Item M 4 should be followed by Item M 5. Under Halfway House, numbering should start over at 1, and f-j should be a-e.

✓ Item Q-1 add the word "from" after "facing away"

✓ p. 5-13 and more under mobile home parks: use specific titles for "Building Code" and SALDO references.

*No* ✓ p. 5-15 Item BB 2 and 3. Seem to be words or punctuation missing.

✓ DD 1 – refers to the Comprehensive Plan. Please give complete title.

✓ GG 2 – refers to Part 19 (there is none)

✓ HH – refers twice to pickup coaches, motorized homes, and travel trailers.



- ✓ 5-16 LL 2 Renovo Borough Comprehensive Plan.
  - ✓ 5-18 Item 4 a refers to Part 18. The department of public welfare is now the Department of Human Services, and will soon be renamed the Department of Health and Human Services.
  - ✓ 5-19 Item 7 k: add “they are” before <25% of the size of the primary dwelling
  - ✓ Item 7 J: add “and local” before “approvals”
  - ✓ Item 8: Refers to “this Part 20”. Kennels are regulated in Part 5. Refers to the Animal Ordinance (is this a specific chapter of the the Renovo Borough Code of Ordinances?). Some words are missing throughout Item 8.
  - ✓ p. 5-20 top of page, item g: should be 25%.
  - ✓ 11 c, “...living purposes. Provided, however” probably should be replaced with “...living purposes, excepting”
  - ✓ 11 D, refers to Part 19. Should be Part 4.
  - ✓ p. 5-21 Item 12 b 1. “feet” should be added after (3 ½). In Item 12 c, last sentence, it is not clear which fences are meant by the word “they”.
- Part 6:
- ✓ p. 6-7 B 1: “Floodyway” typo
  - ✓ p. 6-8 605 A 1 b “of any kind” typo
  - ✓ Many paragraph references in this section are taken from another ordinance and do not correspond to paragraph numbers here. There are multiple locations on the following pages:
  - ✓ 6-4, 6-5, 6-9, 6-10, 6-12, 6-13, 6-15, 6-16, 6-18, 6-19, 6-20, 6-23
- There are some format errors as follows:
- ✓ P. 6-11 3 b 1 – the sentence should not be broken into parts a and b.
  - ✓ p. 6-15 Item 2, and p 6-24 Item 29 – (1 ½). Item 34 and 35 seem to be one item that should not be broken into two. The second sentence could begin with “The subdivision by lease....” The clause “Provided, however that” can be omitted.
  - ✓ p. 7-2 704 A – “site triangle” should read “sight triangle”
  - ✓ p. 7-3, Item I 1 = See comment on “specified” sexual activities and anatomy above.
  - ✓ Part 8. Refers to the CBD Zoning District, which does not exist, on p. 8-1, 8-2, 8-5, 8-12.
  - ✓ p. 8-3 802 First sentence, add “districts” after “the residential”
  - ✓ p. 8-4 Item 3 a refers to Part 18, doesn’t exist.
  - ✓ p. 8-6 Typo “p4r” under Funeral Homes

✓ p. 8-12 Item C 2 b refers to Para. 1801.I.

✓ P. 11-1. Under 1102 A, text from Wolf Township, if used, should be properly numbered.

✓ 1103 refers to Part 23, which doesn't exist.

✓ p. 11-3 In the sixth line of 1106, delete the word "than" ~~(the)~~

✓ Parts 12 and 13: In several places, words are missing – probably "the Borough." See 1201 A; 1202 A 2 and 13; 1215 K 3, and 1301 B and C.

✓ p. 12-2 Item A 10. Words are missing from the first two sentences.

✓ p. 12-14 Item F 6: "Where, curative" is a typo or something is missing.

✓ p. 12-15 Item H: "refilled" should be "refiled."

✓ p. 12 – 17 Item K. Words are missing in the second sentence.

✓ p. 12 -18, Item 8 a. "therefore" should be "therefor".

✓ p. 12-20, Item 3. "alternation" should be "alteration".

✓ p. 13-1, 1301 B. The third sentence should refer to paragraph 1303 B, not 2303 B. Same comment next page, Item 1304 B.

✓ p. 13-3, 1305 E. "applications" should not be plural. 1305 G 1 a: needs a close-parenthesis at the end of the sentence.

✓ p. 13-4, 1305 G 1 e: Should refer to Part 6, not Part 8. Item f refers to the nonexistent Part 20.

changed  
text still  
missing

# **EXHIBIT 4**

## **NEW BUSINESS**

July 2024

## Technical Review Comments – Taco Bell, Borough of Flemington

### Cover sheet

- Power company is PPL
- Gas is UGI
- Sewer is Borough of Flemington
- Water is Suburban
- There are no supervisors. Its borough council.
- Leave an open box for the County PC to wet stamp the cover sheet.
- Put the information on the ZHB approval on the cover sheet.

### C1.0 existing site plan

- Easements – comment on access only. Currently the RW is being used to park cars.
- Require a demolition permit from the Borough.
- Note 11 – cannot share a lateral with other private properties. A new connection must be made to the existing sewer main in Allison Street.

### C2.0

- Check all of the PennDOT Notes. Note C references SR 0224.
- PennDOT Note U will be enforced for bicycle safe grates.

### C3.0

- Storm inlets need to be replaced entirely, with bicycle safe inlets. Type C on penndot RW, Type M along Allison Street. Please add these boxes and details to your plans.
- Can't share a sanitary lateral. Need approval, need a connection detail.
- Check with the PADEP on sewage facilities planning. This project will need a Sewage Facilities Planning Waiver, considering that the sewage flow has likely increased.
- Get approval from Suburban water on connections.

### C4.0 – no comments

### C5.0

- The site is changing from approximately 100% impervious to a site with additional green space surrounding the development. Stormwater management should not be required. However, PennDOT will likely require a brief report prior to allowing the site to be connected to the drainage system of SR 150. Currently, the entire front of the building and parking lot appear to drain via sheet flow to the surface gutter of SR 150.

### C6.0 – no comments

D1.0 – no comments

D2.0

- Sewer laterals require two way cleanouts.
- Its ok to substitute the proposed manholes with cleanout stacks.
- Need to proposed a detail to connect to the existing sewer pipe. Flexible transition fittings are not permitted. Hardback fittings may be acceptable.

D3.0 – no comments

D4.0

- The entire page appears to be excerpts from Pub 72M, which is acceptable. However, we can't specifically tell which one of the details is being proposed for the project. The required details are at a minimum Type M inlet for Allision Street and Type C for High Street, with bicycle safe grates. Inlet box sizes are dependent on the size of the existing storm pipes.

No other comments on the plan.

Please provide a cost estimate for the site development. The Borough may require a site development bond to assure site development is performed as proposed.

# PRELIMINARY/FINAL LAND DEVELOPMENT PLAN PROPOSED RESTAURANT - "TACO BELL - TRINITY HOLDINGS" CLINTON COUNTY 559 HIGH STREET FLEMINGTON BOROUGH, PA 16101 TAX PARCEL: 11-5628-9, PENNDOT APPLICATION: SR 0150, SEGMENT 0190, OFFSET 990

kathleen.day.architect  
8535 ferry road  
waynesville, oh 45068  
617.331.2545  
kathleendayarchitect@gmail.com



CIVIL SYMBOL LEGEND		
DESCRIPTION	EXISTING	PROPOSED
BUILDING		
CATCH BASIN / CURB INLET		
SPIKE/PIN FOUND		
DIRECTIONAL ARROWS		
WATER/GAS VALVE		
MAG NAIL		
FLOW ARROWS		
ADA SYMBOL		
SANITARY & STORM MANHOLE		
PAVEMENT STRIPING		
SIGN		
UTILITY/GUY POLE		
LIGHT POLE		

**LIST OF UTILITIES**

WEST PENN POWER/FIRST ENERGY  
800 CABIN HILL DR.  
PHONE: 1-888-LIGHTS

COLUMBIA GAS OF PENNSYLVANIA  
1600 DUBLIN ROAD  
COLUMBUS, OH 43215  
PHONE: (888) 460-4332

CLINTON COUNTY SEWER AUTHORITY  
2 PIPER WAY, SUITE 300  
LOCK HAVEN, PA  
PHONE: (570) 893-4000

PENNSYLVANIA AMERICAN WATER  
852 WESLEY DRIVE  
MECHANICSBURG, PA 17055  
PHONE: (800)-565-7292

**APPLICANT:**

CHARTER FOODS, INC.  
PO BOX 430  
TALBOTT, TN 37877  
CONTACT: SCOTT BRADLEY  
EMAIL: SBRADLEY@CHARTERFOODS.NET  
(423)-438-0216

**DEVELOPER**

CHARTER FOODS, INC.  
PO BOX 430  
TALBOTT, TN 37877  
CONTACT: SCOTT BRADLEY  
EMAIL: SBRADLEY@CHARTERFOODS.NET  
(423)-438-0216

**CURRENT OWNER ON RECORD**

**(PARCEL TO BE PURCHASED BY DEVELOPER)**  
SPN ASSOCIATES  
2141 BABCOCK BLVD.  
PITTSBURGH, PA 15209

**SURVEYOR:**

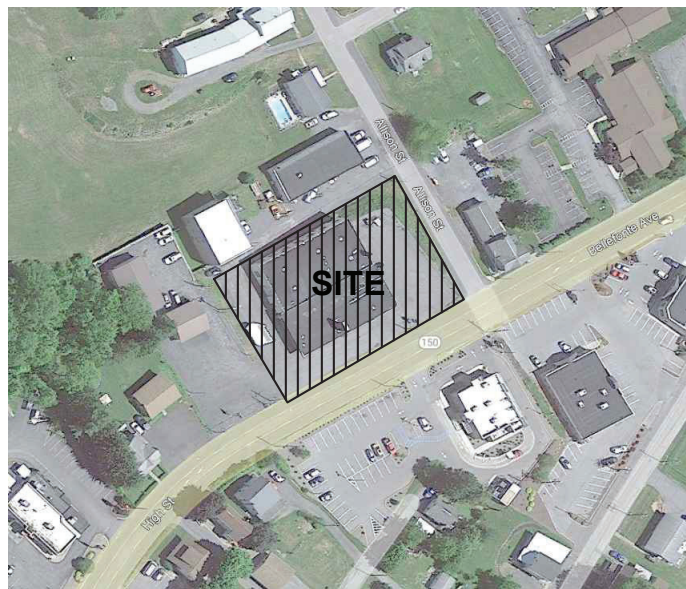
JAMES C. HOCKENBERRY, PLS  
533 BUCKS VALLEY ROAD  
NEWPORT, PA 17074

**CIVIL ENGINEER:**

KARPINSKI ENGINEERING  
3135 EUCLID AVE.  
CLEVELAND, OH 44115  
(216) 391-3700  
CONTACT: CHRISTOPHER BEDNAR, P.E.  
EMAIL: CBEDNAR@KARPINSKIENG.COM

**ARCHITECT/ LANDSCAPE DESIGN:**

KATHLEEN DAY, ARCHITECT  
8535 FERRY RD.  
WAYNESVILLE, OH 45068  
(617) 331-2545  
CONTACT: KATHLEEN DAY  
EMAIL: KATHLEENDAYARCHITECT@GMAIL.COM



**LOCATION MAP**  
SCALE NTS

**SHEET INDEX:**

- C 0.0 COVER SHEET
- C 1.0 DEMOLITION PLAN
- C 2.0 SITE PLAN
- C 3.0 UTILITY PLAN
- C 4.0 GRADING PLAN
- C 5.0 STORM WATER MANAGEMENT SITE PLAN COVER SHEET
- C 6.0 SWPP PLAN
- D 1.0 - D 5.0 DETAIL SHEETS
- ES 1.0 - ES 3.0 EROSION & SEDIMENT CONTROL DETAILS
- SD 0.0 SIGN & LANDSCAPE PLAN
- SD 1.0 - SD 2.0 SITE DETAILS
- SD 3.0 PLANTING DETAILS
- E 1.1 SITE PHOTOMETRICS



**Know what's below.**  
**Call before you dig.**  
DIG - 1-800-242-1776 OR 811  
POCS SER. #: 20210992599

**OWNER'S CERTIFICATION**

BEFORE ME THE SUBSCRIBER A NOTARY PUBLIC AND FOR THE STATE OF PENNSYLVANIA, COUNTY OF CLINTON,

CHARTER FOODS, INC - SCOTT BRADLEY

FOR THEMSELVES THEIR HEIRS, EXECUTORS, ADMINISTRATORS, AND ASSIGNS, PERSONALLY APPEARED AND ACKNOWLEDGE TO BE THEIR OWN FREE ACT AND DEED.

(OWNER'S SIGNATURE) AND TITLE

WITNESS MY HAND AND SEAL THIS \_\_\_ DAY OF \_\_\_\_\_, 2024

NOTARY PUBLIC SIGNATURE

MY COMMISSION EXPIRES \_\_\_\_\_ DATE

**BOROUGH PLANNING COMMISSION RECOMMENDATION FOR APPROVAL**

THIS PLAN HAS BEEN RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE BOROUGH OF FLEMINGTON, CLINTON CO., COMMONWEALTH OF PENNSYLVANIA ON THIS \_\_\_ DAY OF \_\_\_\_\_, 2024.

SECRETARY

CHAIRMAN

**BOARD OF SUPERVISORS FINAL APPROVAL CERTIFICATE**

THIS PLAN IS APPROVED BY ACTION OF THE BOARD OF SUPERVISORS OF THE BOROUGH OF FLEMINGTON, LAWRENCE CO., COMMONWEALTH OF PENNSYLVANIA ON THIS \_\_\_ DAY OF \_\_\_\_\_, 2024.

SEAL:

SECRETARY

CHAIRMAN, BOARD OF SUPERVISORS

**PROFESSIONAL LAND SURVEYOR CERTIFICATE**

\_\_\_\_\_, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS A MARKERS AS SHOWN AND THE PLAT HAVE BEEN SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAT CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

DATE

SURVEYOR'S NAME

SEAL:

REGISTRATION NO.

**CLINTON COUNTY PLANNING COMMISSION CERTIFICATE**

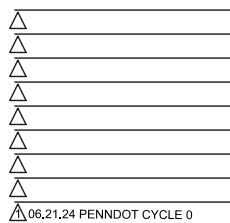
REVIEWED WITH OR WITHOUT COMMENTS BY THE CLINTON COUNTY PLANNING COMMISSION THIS \_\_\_ DAY OF \_\_\_\_\_, 2024.

CHAIRM

SEAL:

THIS PLAN WILL BE NULL AND VOID UNLESS RECORDED BY \_\_\_\_\_

CIVIL LINE TYPE LEGEND		
DESCRIPTION	EXISTING	PROPOSED
APPROXIMATE LIMIT OF CONST.	--- LOCN ---	--- LOCN ---
CABLE TELEVISION (UG)	--- CATV ---	--- CATV ---
CENTER LINE	--- C ---	--- C ---
COMBINATION SEWER LINE	--- COMB ---	--- COMB ---
COMMUNICATION LINE (UG)	--- COMM ---	--- COMM ---
CONTOUR (MAJOR)	--- XXX ---	--- XXX ---
CONTOUR (MINOR)	--- XXX ---	--- XXX ---
FENCE	--- X ---	--- X ---
FILTER SOCK	--- FS ---	--- FS ---
FIRE LINE	--- F ---	--- F ---
FORCE MAIN	--- FM ---	--- FM ---
GAS LINE	--- G ---	--- G ---
IRRIGATION	--- IRRG ---	--- IRRG ---
ORANGE CONSTRUCTION FENCE	--- OCF ---	--- OCF ---
POWER LINE (OVH)	--- OH ---	--- OH ---
POWER LINE (UG)	--- E ---	--- E ---
PROPERTY LINE	--- P ---	--- P ---
RIGHT-OF-WAY LINE	--- R/W ---	--- R/W ---
LEASE LINE	---	--- LL ---
SILT FENCE	--- SF ---	--- SF ---
STEAM LINE	--- STEAM ---	--- STEAM ---
STORM LINE	---	--- ST ---
SANITARY LINE	--- SAN ---	--- SAN ---
WATER LINE	--- W ---	--- W ---



CONTRACT DATE: 03.07.24  
BUILDING TYPE: EXPLORER LITE  
PLAN VERSION:  
SITE NUMBER: TBD  
STORE NUMBER: TBD

TACO BELL

559 HIGH STREET  
FLEMINGTON BOROUGH, PA 16101



EXPLORER LITE

**COVER SHEET**

**CO.0**

PERMIT PLOT DATE:

**GENERAL NOTES**

- A. UTILITIES: THE CONTRACTOR SHALL GIVE DUE NOTICE TO THE OWNERS OF ALL UTILITIES AND SHALL SEE THAT THEIR PROPERTY IS PROPERLY SUPPORTED AND PROTECTED BEFORE DISTURBING, UNDERMINING, OR INTERFERING WITH THE SAME. AND IN NO CASE SHALL THE SERVICE OF ANY SUCH UTILITY BE INTERRUPTED OR INTERFERED WITH, WITHOUT WRITTEN CONSENT OF THE OWNER THEREOF, AND IN CASE OF SEWER, PIPE, CONDUIT, POLE OR OTHER PUBLIC UTILITY PROPERTY IS DAMAGED OR MUST BE MOVED OR SUPPORTED, THE REPAIR, REMOVAL OR SUPPORTING SHALL BE DONE BY THE CONTRACTOR AND SHALL PAY ALL NECESSARY EXPENSE IN CONNECTION THEREWITH.
- B. DAMAGES TO THE ADJACENT PROPERTY OR STRUCTURES MUST BE CAREFULLY GUARDED AGAINST, ESPECIALLY IN MAKING EXCAVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE FULL EXTENT, IF THE SAME ARE OCCASIONED THROUGH NEGLIGENCE OR FAILURE ON HIS PART, OR THAT OF ANYONE IN HIS EMPLOY, TO TAKE ALL NECESSARY OR PROPER PRECAUTIONS TO PREVENT THE SAME, AND HE SHALL ASSUME ALL RISK OF DAMAGE TO ANY PORTION OF HIS WORK.
- C. ALL EXISTING STRUCTURES INCLUDING PAVEMENT AS CALLED FOR TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE IS PROHIBITED.

**DEMOLITION NOTES**

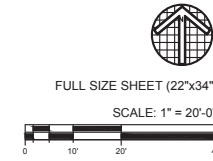
- A. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC. SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- B. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
- C. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- D. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1 & E2.
- E. CONTRACTOR RESPONSIBLE FOR REPAIRS AND RESTORATION OF AREAS DISTURBED BY UTILITY SERVICE INSTALLATION INCLUDING FULL DEPTH PAVEMENT REPAIR.

**SURVEY PROVIDED BY:**  
**JAMES C. HOCKENBERRY, PLS**  
 533 BUCKS VALLEY ROAD  
 NEWPORT, PA 17074

**BENCHMARKS AND COORDINATES**

BENCH MARK #1: MAG NAIL  
 NORTHING: 350833.735  
 EASTING: 2046490.210  
 ELEVATION: 651.87

BENCH MARK #2: MAG NAIL  
 NORTHING: 350938.404  
 EASTING: 2046679.723  
 ELEVATION: 638.32



**LEGEND**

- FULL DEPTH ASPHALT PAVEMENT REMOVAL
- BASEMENT FILL AREA
- REMOVE BUILDING INCLUDING FOUNDATIONS
- REMOVE SIDEWALKS
- REMOVE UTILITY PIPING/CONDUIT

**PLAN NOTES**

- 1. REMOVE EXISTING GAS METER
- 2. CAP WATER LINE AT VALVE
- 3. REMOVE OVERHEAD WIRES
- 4. REMOVE ELECTRIC CONDUIT
- 5. REMOVE BOLLARDS (2 BOLLARDS)
- 6. REMOVE EXISTING CONCRETE STAIRS
- 7. REMOVE STORM PIPE
- 8. REMOVE SANITARY PIPE
- 9. REMOVE WATERLINE
- 10. REMOVE EXISTING SIGN AND CONCRETE BASE
- 11. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL FIELD VERIFY THE DEPTH OF THE EXISTING SANITARY LATERAL AT PROPOSED WYE CUT LOCATION AND REPORT TO THE ENGINEER. SEE UTILITY PLAN FOR PROPOSED WYE CUT ON SHEET C3.0.
- 12. FIELD VERIFY THAT WATER VALVE IS 1-1/2". IF VALVE IS NOT 1-1/2", CONTACT CIVIL ENGINEER FOR FURTHER INSTRUCTION
- 13. BEGIN CURB REMOVAL
- 14. END CURB REMOVAL

**BASEMENT FILL NOTE**

THE CONTRACTOR SHALL RETAIN A GEOTECHNICAL ENGINEER TO INSPECT AND TEST THE STRUCTURAL FILL TO BRING THE SITE UP TO GRADE IN THE BASEMENT AREA AND REMOVED FOOTER FOUNDATIONS. IN ADDITION, THE SOIL SAMPLE TO BE USED SHALL BE SUPPLIED TO THE TESTING AGENCY FOR APPROVAL FOR FILL UNDER BUILDINGS AND PAVEMENT. PROVIDE REPORTS AND APPROVAL LETTER TO THE OWNER AND ENGINEER OF RECORD.

**EXISTING FOUNDATIONS NOTE**

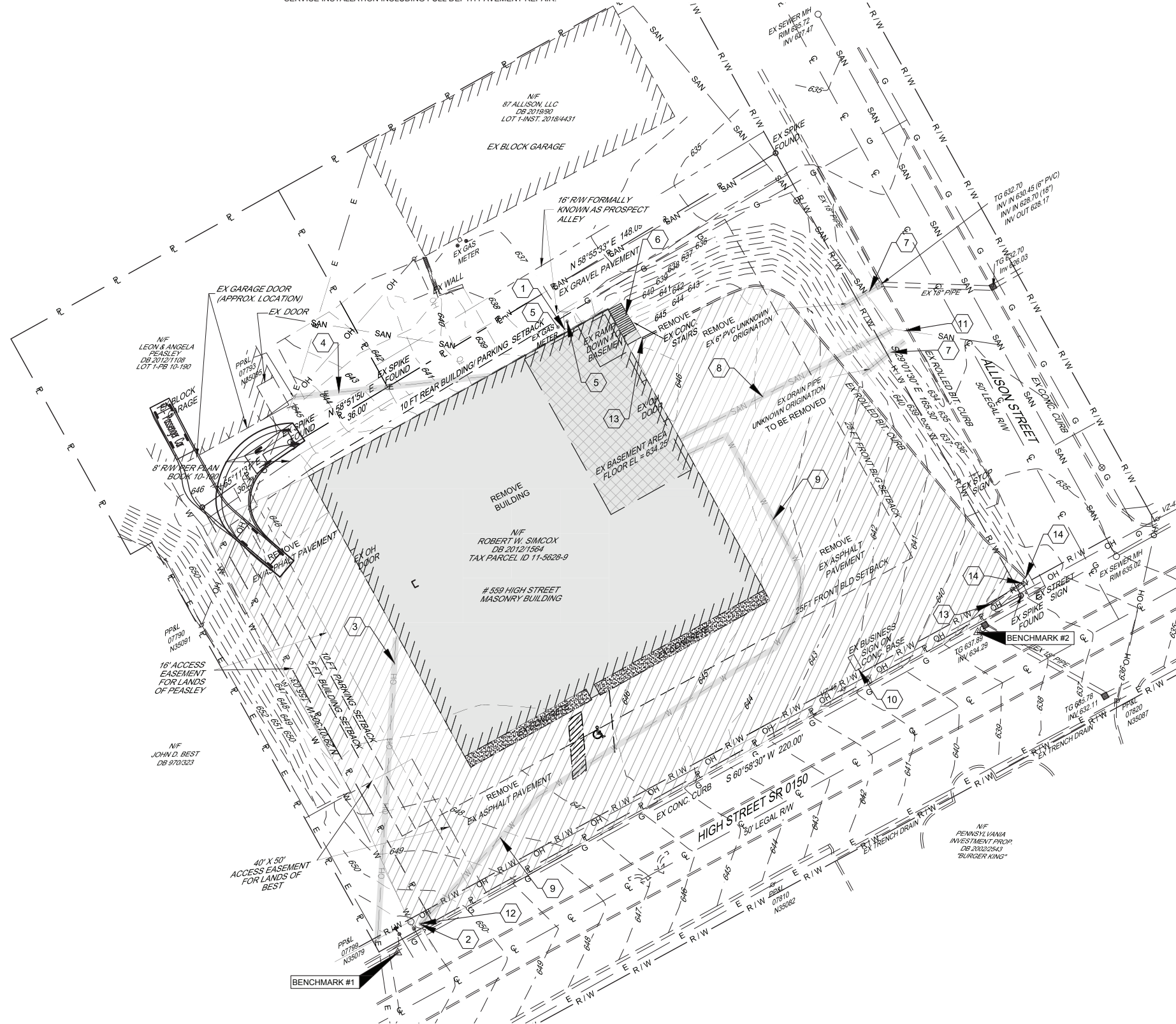
ALL EXISTING FOUNDATIONS SHALL BE REMOVED AND BACKFILLED WITH STRUCTURAL FILL

**EXISTING CONDITIONS NOTES**

- A. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JAMES C. HOCKENBERRY PLS OR KARPINSKI ENGINEERING NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION BY CALLING PENNSYLVANIA PUC AT 811 THREE (3) BUSINESS DAYS PRIOR TO EXCAVATION, AS REQUIRED BY LAW.
- B. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. BENCHMARKS SHOWN ON PLAN ESTABLISHED BY OR FOUND BY JAMES C. HOCKENBERRY PLS. CONDITION OF BENCHMARK MUST BE VERIFIED PRIOR TO CONSTRUCTION.

**PENNDOT MAINTENANCE AND PROTECTION OF TRAFFIC (MPT) NOTES**

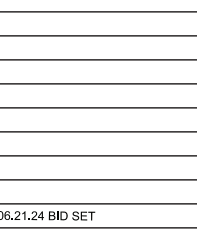
- A. THIS WORK CONSISTS OF THE MAINTENANCE AND PROTECTION OF TRAFFIC AND THE PROTECTION OF THE PUBLIC WHEN APPROACHING AND DEPARTING THE CONSTRUCTION AREA AND WITHIN THE LIMITS OF CONSTRUCTION.
- B. FURNISH, ERECT, PLACE AND MAINTAIN TRAFFIC CONTROL SIGNS AND DEVICES MAINTAIN TRAFFIC DURING HOURS OF CONSTRUCTION AND AT ALL OTHER TIMES CONSISTENT WITH THE METHODS INDICATED ON THESE DRAWINGS AND THE FOLLOWING:
  - B.1. PENNDOT PUBLICATION 35;
  - B.2. PENNDOT PUBLICATION 46;
  - B.3. PENNDOT PUBLICATION 72M;
  - B.4. PENNDOT PUBLICATION 111;
  - B.5. PENNDOT PUBLICATION 212;
  - B.6. PENNDOT PUBLICATION 213;
  - B.7. PENNDOT PUBLICATION 236;
  - B.8. PENNDOT PUBLICATION 408; AND
  - B.9. MUTCD, CURRENT EDITION.
- C. REMOVE THESE DEVICES IMMEDIATELY UPON COMPLETION OF THE WORK. PENNDOT WILL REMOVE ANY TRAFFIC CONTROL DEVICES ERECTED BY DEPARTMENT FORCES.
- D. PERMITTEE MUST ARRANGE FOR INSPECTION OF ALL TRAFFIC CONTROL DEVICES PRIOR TO START OF WORK.
- E. COVER OR REMOVE ALL CONFLICTING SIGNS AND ERADICATE ALL CONFLICTING PAVEMENT MARKINGS.
- F. MOUNT ALL LONG-TERM ADVANCE WARNING SIGNS ON TYPE III BARRICADES UNLESS OTHERWISE NOTED OR INSTRUCTED BY DISTRICT OFFICE.
- G. ALL SIGNS AND DEVICES TO BE MAINTAINED IN NEW OR LIKE NEW CONDITION.
- H. DRIVEWAYS WILL BE KEPT ACCESSIBLE AT ALL TIMES. LOCATE ALL SIGNS SO THAT SIGHT DISTANCES WILL NOT BE OBSTRUCTED AT DRIVEWAYS AND LOCAL ROADS.
- I. ALL CHANNELIZING DEVICES, BARRICADES, AND SIGNS SHALL HAVE TYPE III OR BETTER PRISMATIC RETROREFLECTIVE SHEETING. SHEETING SHALL BE APPROVED AND LISTED IN PENNDOT PUBLICATION 35 (BULLETIN 15).
- J. NO TRAFFIC RESTRICTIONS OR LANE CLOSURES ARE PERMITTED BETWEEN 6:00 AM AND 9:00 AM AND BETWEEN 3:00 PM AND 6:00 PM MONDAYS THROUGH FRIDAYS OR ON LEGAL HOLIDAYS AND WEEKENDS ASSOCIATED WITH LEGAL HOLIDAYS. ALL RESTRICTIONS AND CLOSURES ARE TO BE REMOVED BY NOON ON THE DAY PRIOR TO THE LEGAL HOLIDAY.
- K. PERMITTEE SHALL NOTIFY LOCAL EMERGENCY AUTHORITIES (E.G., POLICE, FIRE, MEDICAL), AFFECTED BUSINESSES, SCHOOL DISTRICT(S), THE GENERAL PUBLIC, THE DISTRICT PERMIT MANAGER AND THE DISTRICT APRAS COORDINATOR AT LEAST FOURTEEN DAYS PRIOR TO ANY SIGNIFICANT TRAFFIC IMPACTS (E.G., LATERAL WIDTH RESTRICTIONS LESS THAN 16 FEET, DETOURS).
- L. MAINTENANCE AND PROTECTION OF TRAFFIC DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE PATA DRAWING (S) 102 AND 103 IN THE CURRENT PENNDOT PUBLICATION 213, "TEMPORARY TRAFFIC CONTROL GUIDELINES".
- M. DROPOFFS CREATED BY CONSTRUCTION OPERATIONS SHALL BE TREATED CONSISTENT WITH PUBLICATION 408, SECTION 901.3(J).
- N. REMOVE ALL SHORT-TERM WORK ZONE TRAFFIC CONTROL SIGNING UPON COMPLETION OF THAT DAY'S WORK PERIOD.
- O. RESTRICTING TRAFFIC FLOW WITHIN THE WORK AREA SHALL BE MINIMIZED TO PREVENT TRAFFIC CONGESTION AND UNSAFE TRAFFIC CONDITIONS.
- P. NOTIFY THE LOCAL MUNICIPALITY WHERE SIGNALIZED INTERSECTIONS FALL WITHIN THE WORK ZONE. DO NOT FLAG A SIGNALIZED INTERSECTION WITHOUT THE MUNICIPALITY PLACING THE SIGNAL ON FLASH.
- Q. THE CONTRACTOR SHALL COMPLY WITH ACT 229 OF DECEMBER 2002 DURING CONSTRUCTION ACTIVITIES WITHIN PENNDOT'S RIGHT-OF-WAY.



kathleen day, architect  
 8535 ferry road  
 waynesville, oh 45068  
 617-331-2545  
 kathleendayarchitect@gmail.com



**Karpinski**  
 ENGINEERING  
 3135 Euclid Ave.  
 Cleveland, OH 44115  
 216-391-3700  
 karpinskieng.com



CONTRACT DATE: 03.07.24  
 BUILDING TYPE: EXPLORER LITE  
 PLAN VERSION:  
 SITE NUMBER: TBD  
 STORE NUMBER: TBD

**TACO BELL**  
 559 HIGH STREET  
 FLEMINGTON BURGHO, PA 16101



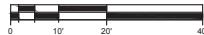
**DEMOLITION**  
**PLAN**  
**C1.0**

PERMIT PLOT DATE:



FULL SIZE SHEET (22"x34")

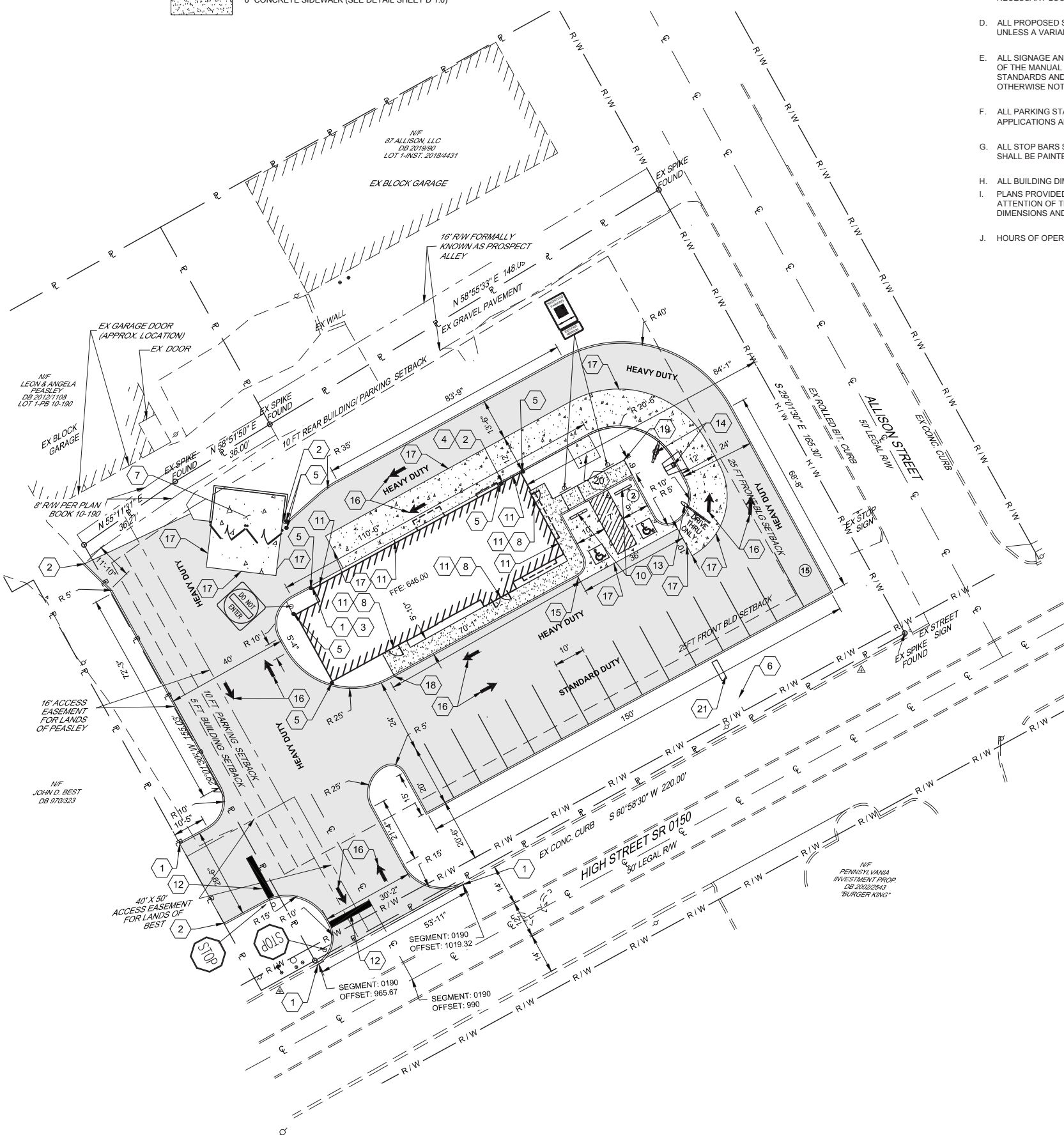
SCALE: 1" = 20'-0"



**LEGEND**

- STANDARD DUTY ASPHALT PAVEMENT IN PARKING STALLS  
HEAVY DUTY ASPHALT PAVEMENT IN ACCESS AISLES  
(SEE DETAIL SHEET D 1.0)
- CONCRETE PAVEMENT (REINFORCED IN DRIVE THRU LANE AND  
DUMPSTER ENCLOSURE / NON REINFORCED IN ADA  
ACCESSIBLE SPACES (SEE DETAILS SHEET D 1.0)
- 6" CONCRETE SIDEWALK (SEE DETAIL SHEET D 1.0)

**SURVEY PROVIDED BY:**  
**JAMES C. HOCKENBERRY, PLS**  
**533 BUCKS VALLEY ROAD**  
**NEWPORT, PA 17074**



**GENERAL NOTES**

- A. THE INTENT OF THIS PLAN IS TO CONSTRUCT A 2,550 S.F., 52 SEAT RESTAURANT WITH A DRIVE-THRU WINDOW ON A PRIVATE PARCEL. PROJECT TO BE SERVED BY MUNICIPAL SEWER AND WATER.
- B. ALL CONSTRUCTION SHALL CONFORM TO BOROUGH STANDARDS AND REGULATIONS, PENNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- C. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- D. ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWNSHIP ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED AND GRANTED.
- E. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND PENNDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- F. ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID WHITE STRIPES. STRIPING APPLICATIONS AND MATERIAL SHALL COMPLY WITH DETAILS AND SPECIFICATIONS.
- G. ALL STOP BARS SHALL BE 12" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC FLOW ARROWS SHALL BE PAINTED YELLOW.
- H. ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF THE MASONRY, UNLESS OTHERWISE NOTED.
- I. HOURS OF OPERATION SHALL BE BETWEEN THE HOURS OF 7:00 AM TO 1:00 AM (SEVEN DAYS).

**ZONING TABLE**

ZONING DISTRICT: GENERAL COMMERCIAL DISTRICT (C)

BUILDING	REQUIRED	PROVIDED
FRONT	25'-0"	25'-0"
SIDE	5'-0"	5'-0"
REAR	10'-0"	10'-0"
BLDG HEIGHT		
MAX BLDG COVERAGE	50%	
<b>PARKING</b>		
FRONT	20'-0"	20'-0"
SIDE	10'-0"	10'-0"
REAR	10'-0"	10'-0"
<b>PARKING SPACE SIZE</b>		
	10'X20'	10'X20'
<b>NUMBER SPACES</b>		
(1 PER 2 SEATS)	26	17
<b>NUMBER SPACES</b>		
(1 PER EMPLOYEE MAX SHIFT)	26	
TOTAL	4	30
<b>DRIVEWAY/ACCESS</b>		
MIN LANE	15'-0"	
MAX GRADE	8.00%	
MIN CURB RADIUS	15'-0"	
MIN SIGHT DISTANCE	300'-0"	

**PLAN NOTES**

- 1. BEGIN 6 INCH VERTICAL CURB
- 2. END 6 INCH VERTICAL CURB
- 3. BEGIN 12 IN WIDE VERTICAL CURB
- 4. END 12 IN WIDE VERTICAL CURB
- 5. PROPOSED BOLLARD
- 6. PROPOSED PYLON SIGN (MAINTAIN NEC AND NESC CLEARANCES TO OVERHEAD POWER LINES)
- 7. PROPOSED DUMPSTER ENCLOSURE AREA. SEE ARCH. DETAIL
- 8. INSTALL FROST STOOP AT DOOR. SEE DETAIL
- 9. SEAL ALL JOINTS WHERE ASPHALT ABUTS CONCRETE, CURBS AND EXISTING ASPHALT PAVEMENT
- 10. INSTALL WHEEL STOP
- 11. INSTALL EXPANSION JOINT WHERE CONCRETE/CURB ABUTS BUILDING
- 12. INSTALL 2 FT WIDE STOP BAR. SEE CIVIL DETAIL
- 13. PROPOSED CLEARANCE BAR. SEE ARCH DETAIL
- 14. PROPOSED DRIVE THRU SPEAKER AND MENU BOARD. SEE ARCH DETAIL
- 15. PROPOSED 2FT EAR
- 16. PROPOSED DIRECTIONAL ARROW PAVEMENT MARKINGS
- 17. SEAL JOINTS WHERE CONCRETE ABUTS ASPHALT
- 18. BEGIN INTEGRAL CURB AND WALK
- 19. END INTEGRAL CURB AND WALK
- 20. PROPOSED 8FT BY 8FT CONCRETE PAD FOR TRANSFORMER
- 21. SIGN SHALL BE INSTALLED TO MAINTAIN NEC AND NESC CLEARANCES TO OVERHEAD WIRES ALONG HIGH STREET, RELOCATE AS REQUIRED.

**PENNDOT NOTES**

- A. ALL WORK IN PA STATE HIGHWAY RIGHT-OF-WAY IS TO BE PERFORMED CONSISTENT WITH THE FOLLOWING:
  - PUBLICATION NO. 408, SPECIFICATIONS.
  - PUBLICATION NO. 35, APPROVED CONSTRUCTION MATERIALS (BULLETIN 15).
  - PUBLICATION NO. 72, STANDARDS FOR ROADWAY CONSTRUCTION.
  - PUBLICATION NO. 111M, TRAFFIC CONTROL-PAVEMENT MARKINGS AND SIGNING STANDARDS
  - PUBLICATION NO. 213, TEMPORARY TRAFFIC CONTROL GUIDELINES
- B. A SEPARATE PERMIT APPLICATION HAS BEEN SUBMITTED FOR THE CLOSED DRAINAGE SYSTEM APPLICATION #290459
- C. THE EXISTING SPEED LIMIT FOR SR 0224 IS 40 MPH EASTBOUND AND 35 MPH WESTBOUND
- D. THE RIGHT-OF-WAY IS FREE ACCESS.
- E. THE DRIVEWAY HAS BEEN DESIGNED (AND WILL BE CONSTRUCTED AND MAINTAINED) CONSISTENT WITH TITLE 67, CHAPTER 441 REGULATIONS.
- F. PA STATE HIGHWAY RIGHT-OF-WAY MAY NOT BE USED FOR PARKING.
- G. PERMITTEE IS RESPONSIBLE FOR MAINTENANCE OF ALL AUTHORIZED STRUCTURES, FACILITIES AND DRAINAGE.
- H. PERMITTEE IS RESPONSIBLE FOR MAINTENANCE OF ALL AUTHORIZED SIGNS AND PAVEMENT MARKINGS.
- I. CONTACT PENNSYLVANIA ONE-CALL (1-800-242-1776) THREE WORKING DAYS BEFORE EXCAVATION OR DEMOLITION WORK. SERIAL NUMBER FOR (list Municipality).

ANTICIPATED AVERAGE DAILY TRAFFIC (ADT) FOR THE PROPOSED ACCESS IS:

- 312 CARS
- 1 SINGLE UNIT TRUCKS AND COMBINATIONS.

ANTICIPATED DAILY TRIPS FOR THE PROPOSED ACCESS IS:

- 312 CARS
- 1 SINGLE UNIT TRUCKS AND COMBINATIONS

- J. DISTANCE TO THE NEAREST INTERSECTION TO THE EAST (ALLISON STREET) IS: 219'-3"
- DISTANCE TO THE NEAREST INTERSECTION TO THE WEST (HERR STREET) IS: 665 FT
- DISTANCE TO THE NEAREST TRAFFIC SIGNAL IS APPROXIMATELY 1,438 FEET (SR 150 / BELLEFONTE AVE).
- DISTANCE TO THE NEAREST OPPOSITE DRIVEWAY IS: 128'-8" (EAST OF DRIVE)
- DISTANCE TO THE NEAREST ADJACENT DRIVEWAY IS: 75'-6" (WEST OF DRIVE)

- K. THIS PERMIT MAY BE RESTRICTED ON WORKING HOURS AND TIMES FOR HOLIDAYS, WEEKENDS, AND SPECIAL OR UNFORESEEN EVENTS AND WILL REQUIRE APPROVAL FROM THE COUNTY OFFICE PRIOR TO WORKING DURING THESE PERIODS.
- L. THE PERMITTEE'S CONTRACTOR SHALL SAWCUT AND REMOVE SHOULDER MATERIAL AS NECESSARY TO ENSURE THE PAVEMENT REPLACEMENT IS ADJACENT TO THE FULL-DEPTH PAVEMENT OF THE TRAVEL LANE.
- M. THE PROPOSED PAVEMENT SECTION MUST BE AS INDICATED ON THE PLAN, OR MATCH THE EXISTING AS FOUND IN THE FIELD, WHICHEVER IS GREATER.
- N. ALL EXISTING PAVEMENT MARKINGS WHICH ARE NO LONGER APPROPRIATE SHALL BE ERADICATED BY THE PERMITTEE. THE PERMITTEE SHALL PLACE ALL REQUIRED NEW PAVEMENT MARKINGS.
- O. ALL PAVEMENT MARKINGS OTHER THAN LONGITUDINAL LINES TO BE HOT THERMOPLASTIC (PENNDOT PUBLICATION 111, TC-8600).
- P. MATCH EXISTING PAVEMENT MARKINGS AT THE LIMITS OF WORK.
- Q. MATERIAL CERTIFICATION MUST BE PROVIDED, BY AN APPROVED MANUFACTURER LISTED IN THE DEPARTMENT'S PUBLICATION 35 (BULLETIN 15), FOR ALL MATERIALS AND STRUCTURES WITHIN PENNDOT RIGHT-OF-WAY.
- R. ALL SLOPE MEASUREMENTS WILL BE INSPECTED/VERIFIED WITH A 2-FOOT SMART LEVEL.
- S. IT IS THE RESPONSIBILITY OF THE PERMITTEE TO REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND NEW STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF THE CONSTRUCTION.
- T. MODIFICATIONS TO EXISTING DRAINAGE STRUCTURES MAY RESULT IN THE NEED TO REPLACE THE STRUCTURE. REPLACEMENT WILL BE AT THE DISCRETION OF THE INSPECTOR-IN-CHARGE.
- U. STRUCTURAL STEEL BICYCLE SAFE GRATES MUST BE PROVIDED FOR ALL INLETS WITHIN THE ROADWAY PAVEMENT OF THOSE THAT MAY RECEIVE BICYCLE TRAFFIC (PENNDOT PUBLICATION 72M, RC-45M).
- V. THE PERMITTEE IS RESPONSIBLE FOR THE COORDINATION OF RELOCATING ANY CONFLICTING UTILITIES WHICH ARE A RESULT OF THESE IMPROVEMENTS.
- W. ALL UTILITY RELOCATION PERMITS TAKE PRECEDENCE OVER THE UTILITY RELOCATION POSITIONS SHOWN ON THE HOP PLANS.
- X. SEE COVER SHEET C0.0 FOR LIST OF UTILITIES AND CONTACT INFORMATION.

**PENNDOT REFERENCE DRAWINGS**

- RC-20M DATED 11/1/2022
- RC-21M DATED 6/1/2020
- RC-25M DATED 11/30/2021

**DRIVEWAY SIGHT DISTANCE**

THE REQUIRED SIGHT DISTANCES FOR THE DRIVEWAY BASED ON PA 67, 441.8 (h)(1) TABLE 3 AND 4. SEE SHEET D3.0

VEHICLE TYPE	POSTED SPEED	REQ'D SAFE SIGHT DISTANCE-LEFT (FEET)	REQ'D SAFE SIGHT DISTANCE-RIGHT (FEET)	PR. SAFE SIGHT DISTANCE-LEFT (FEET)	PR. SAFE SIGHT DISTANCE-RIGHT (FEET)
PASSENGER CAR	35	231	279	231+	279+
SINGLE UNIT TRUCK					

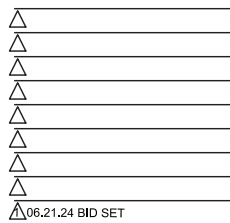
kathleen day, architect  
 8535 ferry road  
 waynesville, oh 45068  
 617.331.2545  
 kathlendayarchitect@gmail.com



**Karpinski**  
ENGINEERING

3135 Euclid Ave.  
Cleveland, OH 44115

216-391-3700  
karpinskieng.com



CONTRACT DATE: 03.07.24  
 BUILDING TYPE: EXPLORER LITE  
 PLAN VERSION:  
 SITE NUMBER: TBD  
 STORE NUMBER: TBD

**TACO BELL**  
 559 HIGH STREET  
 FLEMINGTON BURGHO, PA 16101



**SITE PLAN**  
**C2.0**  
 PERMIT PLOT DATE:





**LEGEND**

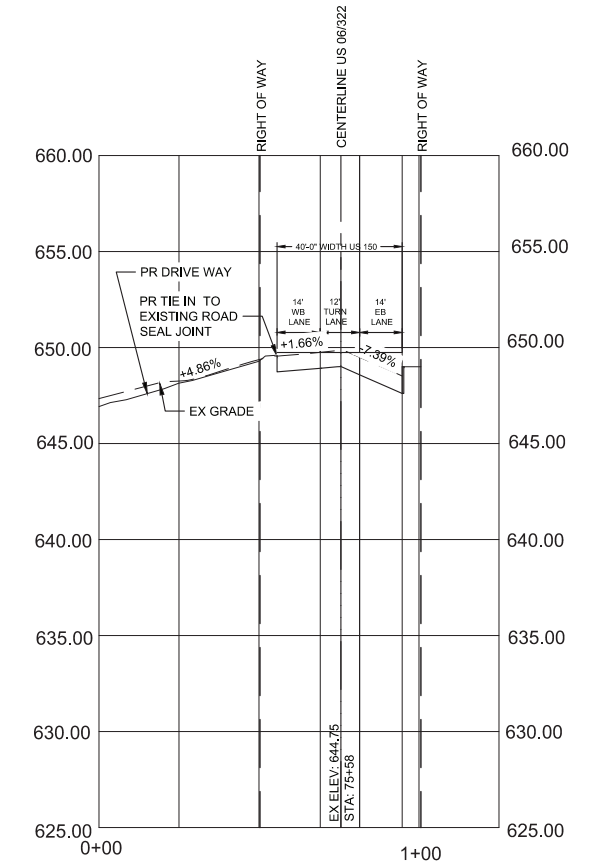
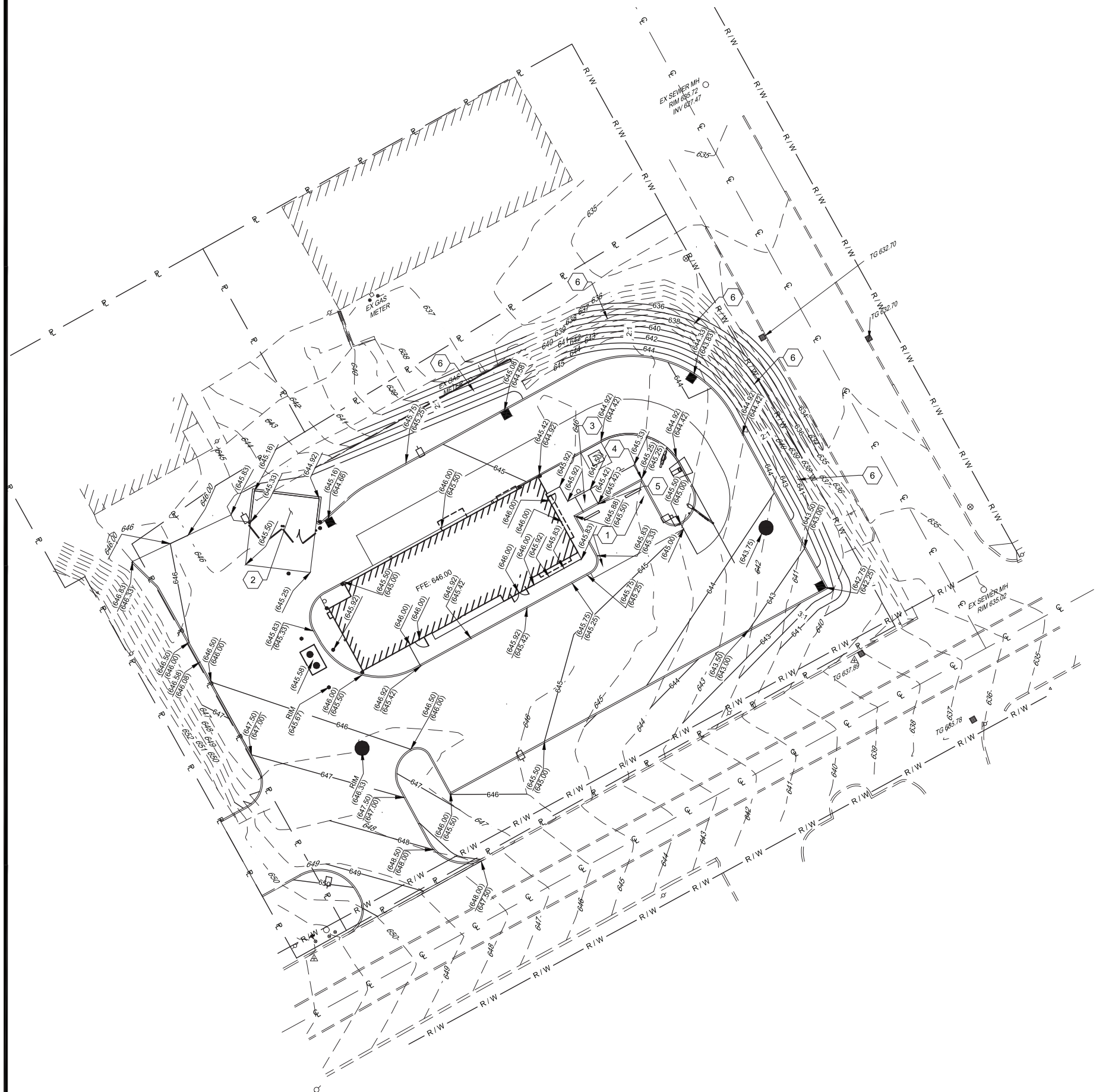
- (635.50) → PROPOSED TOP OF CURB ELEVATION
- (635.00) → PROPOSED BOTTOM OF CURB ELEVATION
- (636.00) → PROPOSED SPOT ELEVATION
- 636.50 → EXISTING TOP OF CURB ELEVATION
- 636.00 → EXISTING BOTTOM OF CURB ELEVATION
- 637.50 → EXISTING ELEVATION

**PLAN NOTES**

- CROSS SLOPE ON ADA ACCESSIBLE SPACE CONCRETE PAD SHALL NOT EXCEED 2.00% IN ANY DIRECTION.
- SEE LANDSCAPE ARCHITECTS DUMPSTER ENCLOSURE DETAILS.
- CURB RAMP
- BEGIN 0" CURB REVEAL
- END 0" CURB REVEAL
- INSTALL EROSION CONTROL BLANKET WHERE SLOPE IS LESS THAN 3 TO 1 SLOPE

**GENERAL NOTES**

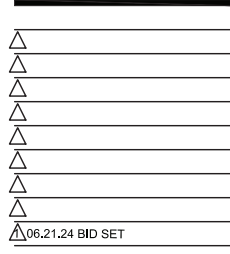
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JAMES C. HOCKENBERRY PLS AND KARPINSKI ENGINEERING NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION BY CALLING 811.
- ELEVATIONS SHOWN ARE TIED TO TO THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. BENCHMARKS SHOWN ON PLAN ESTABLISHED BY OR FOUND BY JAMES C. HOCKENBERRY PLS. CONDITION OF BENCHMARK MUST BE VERIFIED PRIOR TO CONSTRUCTION.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL STORM STRUCTURES SHALL BE PRECAST UNLESS OTHERWISE SPECIFIED. SEE UTILITY PLAN FOR STORM STRUCTURE SCHEDULE AND SHEET D3 FOR STORM DETAILS.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG LEASE LINE OR PROPERTY LINES IN ALL AREAS WHERE SILT FENCE OR SILT SOCK IS NOT REQUIRED.



**PROPOSED EXIT DRIVE PROFILE**

HORIZ. SCALE: 1"=30'  
 VERT. SCALE: 1"=5'

FULL SIZE SHEET (22"x34")



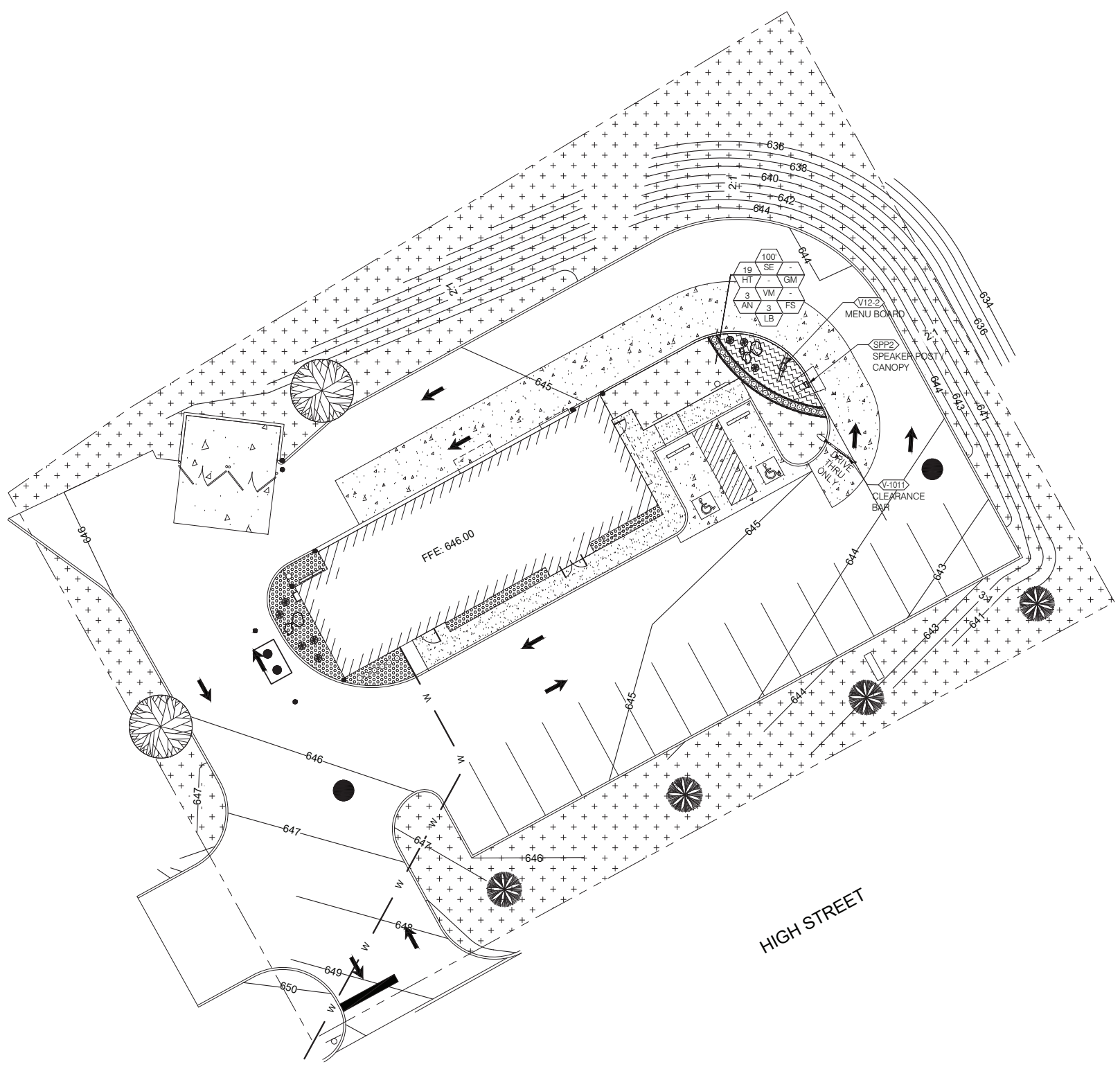
CONTRACT DATE: 03.07.24  
 BUILDING TYPE: EXPLORER LITE  
 PLAN VERSION:  
 SITE NUMBER: TBD  
 STORE NUMBER: TBD

**TACO BELL**  
 559 HIGH STREET  
 FLEMINGTON BURGHO, PA 16101



**GRADING PLAN**  
**C4.0**

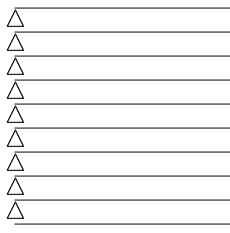
PERMIT PLOT DATE:



**REGION 6 - NORTH**

NO.	MATERIAL	QTY	SIZE	SPACING	PATTERN
AN #	ADAM'S NEEDLE YUCCA FILAMENTOSA	PER PLAN	1 GAL.	24"	
VM #	VINCA MAJOR PERIWINKLE	PER PLAN	1 GAL.	18"	
GM #	GRAVEL MULCH	PER PLAN			
CC #	AMERICAN REDBUD CERCIS CANADENSIS	PER PLAN	1" CAL.	-	
HT #	HORSETAIL EQUISETUM HYEMALE	PER PLAN	1 GAL.	18"	
SE #	STEEL EDGING	PER PLAN	3" AFG 6" BFG		
FS #	FESCUE SOD	PER PLAN			
CC #	EASTERN REDBUD CERCIS CANADENSIS	PER PLAN	2" CAL.		
AR #	RED MAPLE ACER RUBRUM	PER PLAN	2" CAL.		
LB #	LIMESTONE BOULDER SAND -GREY - 6" TO 24"	PER PLAN	6"-24"		

NOTES:  
 ALL TREES AND SHRUBS NOT NOTED TO REMAIN TO BE  
 REMOVED COMPLETELY INCLUDING THE ROOTS.  
 PROVIDE EROSION CONTROL MEASURES AT SLOPED SOD.



CONTRACT DATE: 12.19.23  
 BUILDING TYPE: ENDEAVOR 2.0  
 PLAN VERSION:  
 SITE NUMBER: TBD  
 STORE NUMBER: TBD

**TACO BELL**  
 599 High Street  
 Borough of Flemington  
 Lockhaven, Pennsylvania 17745



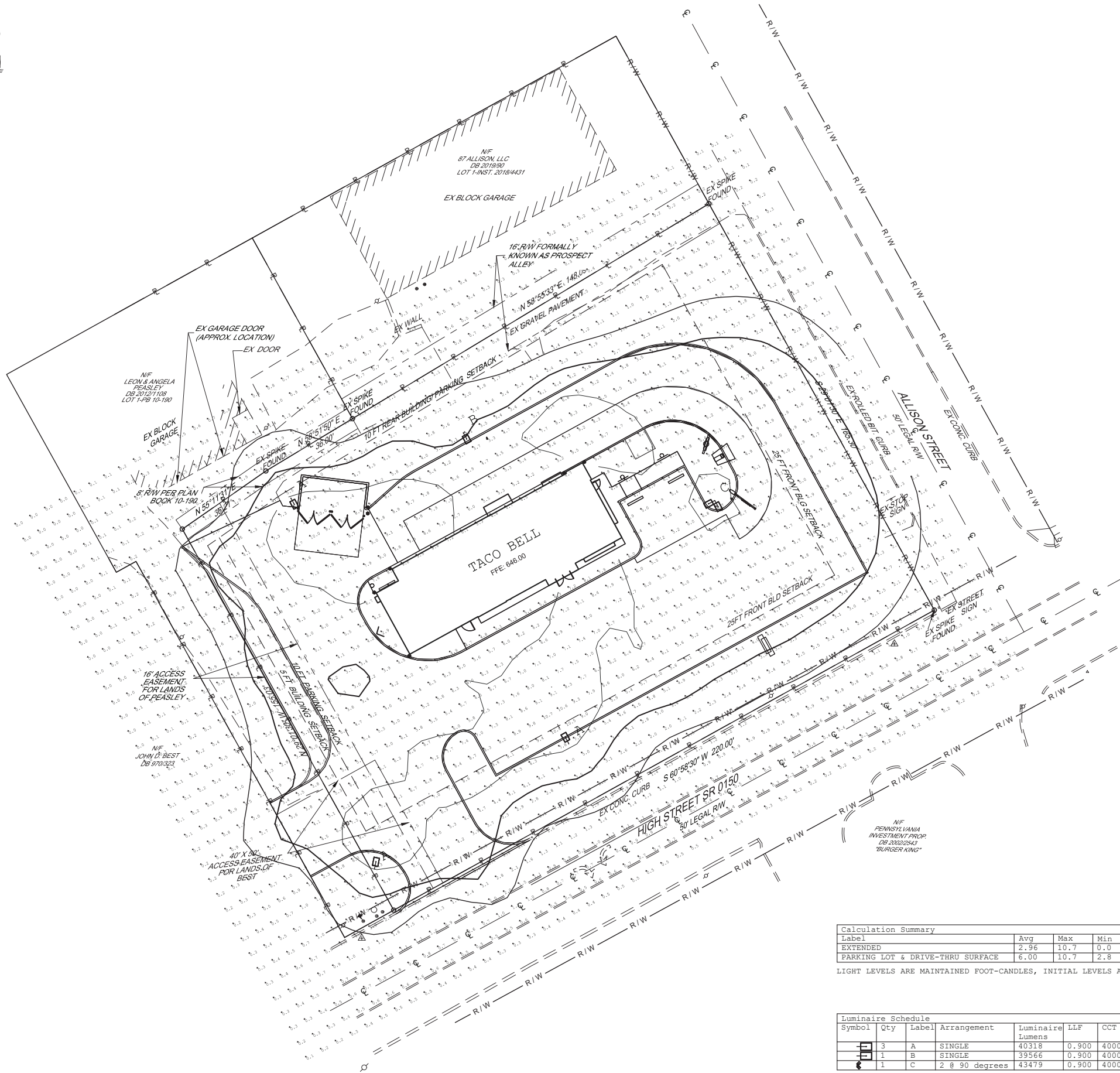
**SIGN &  
 LANDSCAPE  
 PLAN**

**SDO.0**  
 PERMIT PLOT DATE: XX.XX.XX



FULL SIZE SHEET (22"x34")

SCALE: 1" = 20'-0"



Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	2.96	10.7	0.0	N.A.	N.A.
PARKING LOT & DRIVE-THRU SURFACE	6.00	10.7	2.8	2.14	3.82

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Luminaire Lumens	LLF	CCT	Luminaire Watts	Mounting Height	Description
	3	A	SINGLE	40318	0.900	4000K	321	27.5	VP-2-320L-315-4K7-4F-UNV-A-DBT / SES-25-40-01-F-B4-DBT
	1	B	SINGLE	39566	0.900	4000K	321	27.5	VP-2-320L-315-4K7-4W-UNV-A-DBT / SES-25-40-01-F-B4-DBT
	1	C	2 @ 90 degrees	43479	0.900	4000K	321	27.5	(2) VP-2-320L-315-4K7-5QW-UNV-A-DBT / SES-25-40-01-F-B4-DBT

POLES ARE 25'-0" ON 2'-6" BASES

kathleen.day.architect  
8535 ferry road  
waynesville, oh 45068  
617.331.2545  
kathleendayarchitect@gmail.com

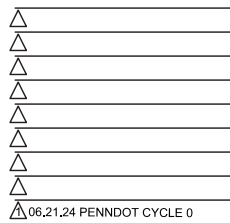


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TACO BELL  
559 HIGH ST.  
LOCK HAVEN, PA  
APRIL 25, 2024

ACCUSERV LIGHTING & EQUIPMENT  
877-707-7378  
DESIGNED BY: JOHN BUJAKE  
jbujake@accu-serv.com  
QUOTATIONS BY: AARON HAMPTON  
ahampton@accu-serv.com



CONTRACT DATE: 03.07.24  
BUILDING TYPE: EXPLORER LITE  
PLAN VERSION:  
SITE NUMBER: TBD  
STORE NUMBER: TBD

**TACO BELL**  
559 HIGH STREET  
FLEMINGTON BURGHO, PA 16101



**SITE**  
**PHOTOMETRICS**

**E1.1**

PERMIT PLOT DATE:

# **EXHIBIT 5**

## **CORRESPONDENCE**

## July 2024 Correspondence List

- HRG Engineering – GP 11 for Pipeline removal in Chapman Township
- Olde Forge Enviro – Act 14 for I 80 Rest Area in Greene Township
- WHM Consulting – Multiple GPs for Maintenance and Testing of Pipelines in Leidy Twp
- LIVIC – Act 14 for NPDES Permit in Gallagher Township (residential), Gallagher Twp
- Energy Transfer – Act 14 for GP5 Poorman Compressor Permit Renewal, Gallagher Twp
- Penncore Consulting – Act 14 for Small Project Water Encroachment for a Pavilion, Woodward Twp
- Leidy Compressor Review Letter to LDG from County